

# Home Inspection Report



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Garfield , New Jersey 07026

Prepared for: ■■■■■■■■■■

Prepared by: Foresight Consulting

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**General Information**

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Report Number : 07-8677

Inspection Date: July 14 , 2015  
Time : 4:00 PM

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**Client Information**

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Client : [REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

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**Property Information**

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Address : [REDACTED]  
City, State : Garfield , New Jersey 07026

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**Site Conditions**

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Present : Client , Agent , Client Family  
Age or Date: 1900  
Type : Two Family Bedrooms: 6 Bathrooms: 2  
Weather : Sunny  
Temp : 85  
Electric : Yes  
Water : Yes  
Gas/Oil : No

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**Company Information**

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Inspector Name Keith Salviano  
Company Name Foresight Consulting  
  
Address : 9 Walnut Court, North Haledon, NJ 07508  
  
Phone : 973 942-3061  
  
Inspector : Keith Salviano NJHI #: GI 369  
  
Email : foresight1@optonline.net

## Inspection Report

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9 Walnut Court North Haledon, NJ 07508 973 942-3061

Inspection Date : July 14, 2015 - Inspector: Keith Salviano NJHI #: GI 369

Submitted for the sole use:

[REDACTED]

Location of Inspection Site:

[REDACTED] Front Building Garfield, New Jersey, 07026

An inspection of this Two Family style, structure 6 bedroom, 2 bathroom, was conducted on the above date by Foresight Consulting Services, Inc. Many aspects of the property were inspected, including structural components, site conditions, utilities, and systems. The report contains observations concerning each aspect that was evaluated, including some conditions that may require attention. The report also provides many suggestions and recommendations to help you in maintaining and improving this property now and in the future. The report is intended to provide you with a better understanding of the conditions, as observed at the time of the inspection. It is recommended that the owner, agent and or representative be consulted about any other information or concerns that might may have been omitted about the property. This report should not be construed as a warranty or insurance policy. A Preclosing Inspection Checklist, Special Concerns and a summary is enclosed, however, the report should be fully read.

Read the entire document carefully. Please contact us if you have questions about any of the details of this report, or if there is anything you don't understand. Where deficiencies have been indicated and there is some uncertainty as to what remedial measures may be required, you should call our office and consult with a competent contractor in a timely manner to determine the scope and cost of repair. Foresight, would like to thank you for the opportunity of serving you.

### IMPORTANT: Scope of Inspection

This report represents an effort to present a fair evaluation of the overall condition of the premises and systems at the time of the inspection. This report has been prepared to fulfill FCSI's obligations under the Evaluation Agreement previously agreed to by the parties. The presence or absence of pests, such as rodents, insects, and wood damaging organisms is not part of this scope of work. Excluded aspects and inspections are detailed in the signed Evaluation Agreement.

This report offers an opinion only as to those portions of the premises and systems that were easily accessible and could be evaluated by a strictly visual walk-through inspection. The inspection procedure and this report complies to the "Standards of Practice" of the New Jersey Home Inspection Advisory Committee, N.J.A.C. 13:40-15, which defines the duty and the standard of care to be exercised by this profession in conducting an inspection.

## Exterior Comments

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Note: Real Estate brokers, owners, buyers, or any parties other than the client who contracted for and paid for this report are hereby notified that any use of this report by them for any purpose related to the sale or purchase of this property is not permitted unless the approval of Foresight Consulting is given as well as the approval of the original client. Your attorney should also be asked about boundaries, easements or any other information pertaining to this property.

## Definitions

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Key to Checklist	
Acceptable	Item is adequate with no significant defects.
Marginal	Item is generally acceptable, but will require repair or servicing.
Defective	Item is unacceptable or poor and in need of repairs or replacement.
Not Inspected	Item not inspected and or is not in scope of work.

## Driveway

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**Defective**                      Surface: Concrete - The concrete parking area should be replaced. It would be difficult for emergency vehicles to enter and exit the property. There is an exposed water valve and pipe near the rear Bilco doors that should be revised.

## Walks/Entrance

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- Defective**                      City Sidewalk: Masonry - Deteriorating and damaged. A tripping hazard is present and not safe.
- Defective**                      Front Walkway: Masonry - Replace walkway and suggested that some type of grading be installed for both esthetics and help with water.
- Defective**                      Front Entrance: Masonry - The steps are uneven. The steps lead directly into the home and a platform of some sort should have been installed.
- Defective**                      Utility Entrance: Masonry - Damaged. The rear added room has exposed wires at both front and rear has hanging cables and freon lines that they too should be removed and birds are nesting in the bathroom vent.



Walks/Entrance (Continued)

Acceptable	Walkway: Masonry - the left side of the building has what appears to be a fairly new walkway place on top of the old walk. The basement dryer hood is damaged.
Defective	Patio: Masonry - Replace patio. The patio is pitched towards the building and flashing cement is noted against the building.

Grading



Defective	Landscaping: Add topsoil, mulch and shrubs - almost all the property is covered with concrete and water or water runoff will be diverted towards the street and home. The front basement is wet and water noted on the floor, indicating a problem with water. The right side neighbor is asking for the rear building to have its gutters and leaders to be diverted towards the street rather than his property.
Acceptable	Grading : Minor slope
Marginal	Hose Bibs: Gate - Valves are not operated as part of this inspection, any reference to any valve inspected is visual only unless otherwise noted. The valves are the older style and replacement recommended. The valves are not freeze protection, especially the rear building has a very loose hose bib.
Acceptable	Fences: Chain link
Marginal	Walls: Masonry - Some cracking noted.
Defective	Oil Tank: Suspected previous oil tank. It is recommended that a search for a buried oil tank be conducted.

Maintaining a slope away from the foundation walls will help lessen water accumulation around the building during a rainfall and help to insure a dry interior. Depressions can be filled with additional topsoil, however, under no circumstances should wooden portions of the structure be in contact with the ground. Grading in areas away from the building was not comprehensively evaluated about drainage.

Shrubs, trees, and vines should be trimmed and prevent contact with the building. This helps to insure adequate ventilation and prevent excessive dampness that will lead to rot and deterioration.

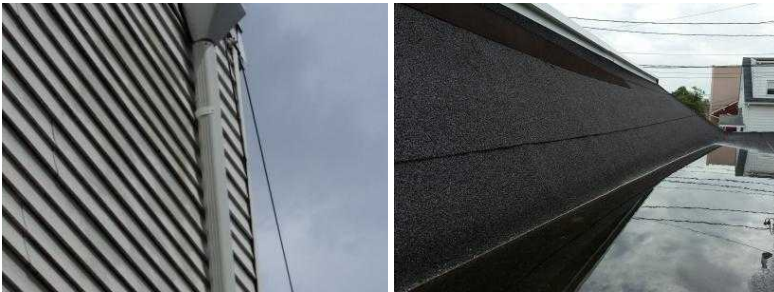
Underground sprinkler systems, play sets, fence ownership, sheds, out buildings, hot tubs, spas, pools and any electric support is not part of this inspection and outside the scope of our services.

No investigation or evaluation was performed to locate any above or underground tanks, such as oil, gas, propane, or chemical tanks, which might be present, or to determine their integrity, condition, or legality. If an oil tank or tanks are present, it is recommended that the tank or tanks and soil be tested. Oil tanks have become a major issue lately, so please refer to the later part of this report for more information.

## Gutters/Downspouts

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Acceptable	Gutters: Aluminum - The building is equipped with built-in gutters. These are common of these older buildings, but during heavy rains the gutters will overflow. The gutters are essentially extensions of the roof framing with water ways built-in to the roof surface over the edges. The gutter channel may be lined with asphalt roll roofing or some other type the of impermeable material. The channels require more attention than the typical aluminum gutter system.
Marginal	Gutters: Hopper - the added room roof is a mineral roof and the roof is not pitched to wards the side hopper and water is lying on the roof and will only dryout the roof and cause leaks.
Marginal	Downspouts: Aluminum - The downspouts discharge too close to the foundation and should be extended.



The purpose of a gutter system is to collect rain and snow from the roof and divert it away from the foundation walls. This means keeping gutters cleaned out and sloped. Install splash blocks for above ground extensions and building up the grade so that the roof and surface water is diverted away from the building. Underground piping was not inspected and will also need to be cleaned. Avoid letting leaders discharge close to the building as this can increase the chance of water penetration through the foundation. Leaks may develop at seams, and these can be caulked and sealed at the time of other maintenance or cleaning.

Debris should be removed periodically to eliminate clogging and overflow. This should be done at least twice each year.

## Fascias/Soffits/Trim

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Acceptable	Fascias: Aluminum and Wood
Acceptable	Soffits: Aluminum and Wood
Defective	Trim: Aluminum, wood, and vinyl - Quite a few wood trims will require finishing. The windows do not have the correct style flashing and drip edging and water will seep into the void or wall cavity.

Exterior trim components including those around windows, doors, soffits, and fascias are prone to opening and weathering at seams and joints. Trim work should be inspected occasionally, caulked, and sealed as necessary to remain watertight. Materials underneath aluminum and or vinyl trim are not visible and the conditions could not be determined.

## Doors/Windows

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Marginal	Entrance Door: Metal, Metal with glass - the doors have quite few dents and show poorly.
Defective	Utility Door: Metal - Bilco doors noted and both doors are rusting and corroding and allowing water to seep into each basement. The basement stairs are very slippery because of the water.
Defective	Windows: Double hung - Double glazed, and the drip edging, sillplates are all in need of modifications. The front right side windows have only plaster and the cement is damaged, thus water seeping into the home. The right side windows egress onto the roof above the added room and a child can easily walk on the roof and is a concern. The windows may require security or safety bars.
Defective	Base Windows: the basement windows have been covered and the both basement are very wet and the owner is using a dehumidifier, but still the water is present and will only seep into the home and can cause health problems. The added room basement is very poor and mold is noted on the framing indicating a potential problem.

Windows may require occasional maintenance to insure a tight seal around the framing. Putty or caulking can be renewed where needed as a normal maintenance task.

The operation and condition of a representative number of doors and windows will be evaluated during the interior portions of this inspection. Double and multi glaze windows are preferred and



Doors/Windows (Continued)

single glaze and metal frame windows are less quality, not efficient and replacement considered. An audit of the storms and/or screens was not conducted and should be inventoried before closing. The owners should install all the units to aid this procedure. Dead bolts for the exterior doors are a security feature; cylinder locks for the doors should be changed.

Siding



- Defective Material: Masonry - The masonry siding is in poor condition on the front building. The surface is failing, cracking, damaged and should be replaced. The left side of the building has stucco and the front windows have been covered and the opening very noticeable and shows poorly.
- Marginal Material: Vinyl siding - The siding has appears to have been placed over another type of siding, thus the siding is not flush or plumb. The siding is touching the lower brick work and the brick work does not have flashing.
- Marginal Material: Brick veneer - In order to drain any water collected on the flashing, weep holes must be provided above flashing at all flashing locations. Weep holes should be provided in the outside wythe or vertical section of masonry walls at a maximum spacing of about 33 inches on center. Weep holes shall not be

## Siding (Continued)

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Material: (continued)

less than 3/16 inch in diameter and the weep holes should be located just above the flashings.

The stone shelf will be difficult to drain water and should be pitched away from the building. Water is susceptible to pool against the siding and possibly penetrate the system.

Maintaining the siding is important to preserve a watertight, draft free home. The siding should not come in contact with the grading and should be about 8 inches from the soil. This is also true for the trim work. If the siding or any other trim touches grading or masonry, wood rot might exist and replacement of the siding may be required.

Acceptable                      Foundation: Masonry - The majority of the foundation walls are hidden and could not be fully inspected.

The foundation inspection is limited to the visible areas as observed in date of the inspection some settlement cracks were noticed. All cracks should be checked and monitored and if any cracks become larger a general contractor will need to be retained. The foundation will be further inspected from the interior, where accessible. In some cases, vegetation and shrubs obstructions may exclude certain areas from being viewed.

## Roof

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Method of Inspection: Ground level

Style: Gable

Not Inspected

Material: Dimensional style - The roof could not be properly inspected and a roofer should be consulted.

Approx. Age: The fiberglass or asphalt shingles are composed of asphalt shingles that are made by impregnating mats of either organic felt material or fiberglass. A few shingles are just beginning to show signs of wear that indicates the roof is about 10 years old.

Lower Mineral Roof

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Method of Inspection: Window

Style: Mineral roof

Marginal

Material: Rolled roof material - The roof that is commonly called a roll roof. The roof is composed of asphalt shingles that are made by impregnating mats of either organic felt material or fiberglass. It is considered to be low quality roof covering with a limited life expectancy of up to ten years. The roof requires a considerable amount of expertise to install properly. Water ponding on the flat roof can shorten the life expectancy. The rolled roofing has a much shorter life expectancy than a 3 tab or 5 tab roof shingle.

## Roof (Continued)

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### Material: (continued)

The roof has pooling water. Water staining is noted on the floor in the unit beneath this pooling water. The seams are open and the roof at not be properly installed. A licensed roofer should be retained to further evaluate the roof and estimate for repairs. Tye aluminum capping to the parapet wall appears to be incorrect.

### Approximate Age:

#### Upper Roof Surface

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Method of Inspection: Ground level

Style: Flat

Not Inspected      Material: The main or upper flat roof could not be inspected duets height and a licensed roofer should be retained to evaluate the roof.

### Approximate Age:

It is recommended that the building department be contacted about permits that have been obtained for the roof and home. This can aid in determining the life expectancy. The building department can also be addressed on any permits that have been issued for this dwelling. A conventional three tab shingle roof has an overall life expectancy in the range of 17-22 years, and dimensional shingle roof about 25-30 years, according to industry standards.

The roof often contains hidden defects and because of that, this is a cause for concern. All roofs, gable, hip, shed, dormer, pitched and flat, can develop leaks and monitoring the roof, chimney and flashing is a recommended practice. A roof contractor should be obtained prior to close of the property to determine such defects. Building codes may or may not allow a new roof to be applied over the present roof. Protrusions through the roof, such as plumbing vents, skylights, and exhaust vents are made watertight by "flashings."

The roof and any chimney was inspected visually from the ground. Binoculars were used when helpful, and only those areas that could be viewed in this manner could be evaluated. These limited inspection methods are due to the inherent danger of climbing on the roof and damage that can result in some roofing materials. If further evaluation is desired, or recommended by FCS, you should contact a specialized roofing contractor.

## Chimney

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Marginal	Material: Masonry - The chimney could only be partially viewed due to height. The viewable portions are in need of repairs and a licensed mason should be retained for estimates and repairs. The old heating system was an oil fired unit and the chimney should have conform to its requirements. The flue pipe penetrates the chimney and the chimney does not conform and is unsafe and should be revised.
Defective	Flue/Flue Cap: No cap.
Not Inspected	Flashing: Flashing tar is a temporary remedy and should not be used. The tar traps moisture in the structure of the chimney causing deterioration.

The interior elements of the chimney and flue is not evaluated as part of a standard building inspection and falls outside the scope of a visual home inspection. Evaluation of these areas requires a specialized contractor and may discover hidden damage. Flues should be professionally cleaned. Professional chimney firms have special equipment capable of inspecting the length of the flue. A level II inspection with a camera is recommended especially for older homes or those installations with soot build up or when changing to another type of fuel. The flashings should be periodically inspected during heavy rainfall and sealed as required to remain watertight.

Masonry chimneys may require repairs to the concrete capping and mortar joints that are exposed to weather. The need for maintenance of this type is often not apparent from the ground.



## 1st Floor Interior Comments

The legal status of the dwelling, compliance with codes, regulation and ordinances is beyond the scope of the inspector or inspection. It is recommended that you check with the municipality or township to determine the multi dwelling status.

A home is unique and complex, and obtaining an insurance policy in addition to your home owners insurance is highly recommended. Your realtor or your attorney should be consulted about companies that offer a home warranty for major components, mechanical and major appliances that can be purchased. Carpeting and or other types of flooring materials is not lifted nor is any furniture or appliances moved to evaluate the condition of the flooring. Cosmetic items in regards to the walls, ceilings or flooring finish may not be reported. It is also highly recommended that you contact the local building code official for any building permits that might have been issued.

The majority of the interior rooms for both homes will require renovation, such as wall papering, painting, painting moldings, refinish floors and replacing broken panes or putty. The electrical system in some rooms are limited and most likely need additional outlets.

The structure might need a Green Card document. A document is issued by the state of NJ and it has requirements and protocols along with inspections. The Card is issued after the property is properly registered, inspections and re-inspections have been conducted, all violations are corrected and all fees paid. The card must be displayed with contact numbers in case of an emergency. You will need to complete the application that can be secured from the Bureau of Housing Inspection by calling 609-633-6210. Failure to register with the state of NJ may face judgments.





1st Floor Interior Comments (Continued)

**Living Room**

Marginal Floor: Laminate - Poor installation  
 Marginal Walls/Ceiling: Paint - The molding throughout the home and the other home is very old and the trim work may contain a lead base paint. The city health department may perform a lead test and the inspectors should be addressed.  
 Marginal Doors: Wood - Missing closet door.  
 Acceptable Windows: Double hung - Double glazed  
 Marginal Electrical: 120 volts - The electrical system in some rooms are limited and most likely need additional outlets.  
 Defective HVAC: No Heat missing radiator

**Bedrooms**

Marginal Floors: Carpet - Worn carpeting.  
 Acceptable Walls/Ceilings: Paint  
 Acceptable Doors: Wood  
 Marginal Windows: Double hung - All windows in bedrooms should be functional because of safety requirements. Double glazed, broken seals.  
 Marginal Electrical: 120 volts - Limited outlets. Open grounds and loose outlet boxes.  
 Marginal Closets: Hinge - Missing closet in front bedroom  
 Acceptable HVAC: Radiator

**Added Room**

Defective Floor: Wood, substrate - Water staining noted on floor and subflooring very soft due to the water in the basement.  
 Marginal Walls/Ceiling: Paint - Air conditioning lines abandoned in this room. Sink connections are noted. Laundry connections also present.  
 Acceptable Doors: Wood, Metal  
 Acceptable Windows: Double hung - Double glazed.  
 Marginal Electrical: 120 volts - Cover plates noted. Missing outlets limited outlets.  
 Defective HVAC: No heat.



**Kitchen**

Acceptable Floor: Laminate  
 Acceptable Walls/Ceiling: Paint, Tile

1st Floor Interior Comments (Continued)

Acceptable	Doors: Wood
Acceptable	Windows: Double hung - Double glazed
Acceptable	Heat Source: Radiator
Acceptable	Cabinets: Laminate and composite materials
Marginal	Counter Tops: Laminate and composite materials - Damaged.
Acceptable	Sink: Stainless Steel
Acceptable	Electrical: 120 volts, 120 volt GFCI
Acceptable	Plumbing/Fixtures: PVC and metal
Marginal	Cooking Appliances: Missing - Remember, all stoves, book cases, and furniture should have anti tip anchors.
Acceptable	Ventilator: Windows

Only the built-in appliances are regularly evaluated as part of a Foresight Consulting inspection. This normally does not include the refrigerator, stove or microwave. Kitchen appliances are complicated mechanical devices with many internal parts. The appliances were evaluated by operating them, as would a homeowner and by visual inspection and no disassembly was attempted. Foresight Consulting cannot predict the useful life of these appliances. It is recommended that you get the manufacturer's information booklets and warranties, if available.

Hallway

Acceptable	Floor: Ceramic tile
Acceptable	Walls/Ceiling: Paint
Acceptable	Doors: Wood
Acceptable	Electrical: Light, no outlet
Acceptable	Closet: None
Acceptable	Main Door: Metal
Marginal	Stairs: Carpet, with handrails - Inferior carpeting artificial turf. Missing spindles. The basement stairs are also hard to traverse with very low head room.

Smoke detectors and CO monitors are not inventoried nor inspected. They are required safety devices; however, working units should be maintained at the proper locations on each level. They should be tested regularly and batteries replaced as required. It is suggested that you check with local fire code officials about any regulations concerning devices of this type or the installation of a fire extinguisher. It is recommended to locate CO monitors for safety reasons.

Every family should develop and periodically review their personal family fire plan. How do you get out safely in the event and where do you meet outside the dwelling? You may want to contact your local fire department for general fire safety information.

Defective	Added Room: Ceramic tile - The room has been partially de-constructed. The room does not have heat, sink, toilet and the plumbing disconnected, but still locate or present in the basement leading to a concern. The added room also once had an AC unit that has been removed, but the freon lines still in place. It was said that the room was originally a store and the owner had renovated without a permit and the town order to have the kitchen and bathroom decommissioned. The building or zoning office will need to be addressed on this matter and about any other concerns about this property that should be made light.
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## 1st Floor Interior Comments (Continued)

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Bathroom	
Marginal	Floor: Ceramic tile - Cracked tiles.
Acceptable	Walls/Ceiling: Paint, Tile, suspended ceiling
Acceptable	Door: Wood
Acceptable	Electrical: 120 volt GFCI
Acceptable	Sink/Basin: Vanity and top
Marginal	Faucets/Traps: Metal and PVC - Water hammer in both front and rear building.
Marginal	Toilet: Porcelain - The assembly is poor and the handle must be held down to flush.
Marginal	Tub/Shower Surround: Metal with ceramic tile surround. Apply caulking to surround.
Marginal	Tub/Shower Diverter: Operable - Loose tub nozzle
Acceptable	Ventilation: Exhaust fan
Marginal	Heat Source: No Heat

Surfaces subjected to wet conditions should be well caulked, grouted, and sealed as necessary to maintain them in a waterproof condition. This is important maintenance and will help to prevent leaks and deterioration of materials behind these surfaces. The water was only activated for a brief period and severe damage to underlying surfaces may occur in a relatively short period. The tubs and or shower stalls should be re-inspected prior to obtaining your purchase because leaks can develop in a very short period.

Glass enclosures are often for tubs and showers. Glass surfaces along with wet and slippery floors could obviously be hazardous, and this aspect should be considered about such installations. Any windows inside a bathroom should have tempered glass for safety.

Ground Fault Circuit Interrupter (GFCI) electrical outlets are a significant safety improvement. They are required for bathrooms, kitchens, laundry, and outside outlets.

## 2nd Floor Interior Comments

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### Living Room

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Marginal	Floor: Laminate - Damaged seams.
Acceptable	Walls/Ceiling: Paint
Acceptable	Doors: Wood
Defective	Windows: Double hung - Double glazed, broken glass.
Acceptable	Electrical: 120 volts
Acceptable	HVAC: Radiator

### Bedrooms

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Marginal	Floors: Laminate - Some damages noted
Acceptable	Walls/Ceilings: Paint and suspended ceiling
Acceptable	Doors: Wood
Marginal	Windows: Double hung - Double glazed, broken seals.
Acceptable	Electrical: 120 volts
Marginal	Closets: Sliders, Bifold - Missing Bifold door
Acceptable	HVAC: Radiator

### Kitchen

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Marginal	Floor: Laminate - Damages noted
Acceptable	Walls/Ceiling: Paint
Acceptable	Doors: Wood
Acceptable	Windows: Double hung - Double glazed
Acceptable	Heat Source: Radiator
Marginal	Cabinets: Laminate and composite materials - Damaged and peeling veneer.
Acceptable	Counter Tops: Laminate and composite materials
Acceptable	Sink: Stainless Steel

## 2nd Floor Interior Comments (Continued)

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Acceptable	Electrical: 120 volts, 120 volt GFCI
Acceptable	Plumbing/Fixtures: PVC and metal
Defective	Cooking Appliances: Gas stove - Not operable.
Acceptable	Ventilator: Above stove

Again, only the built-in appliances are evaluated as part of a Foresight Consulting inspection.

### Main Access

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Acceptable	Door: Metal
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### Hallway

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Acceptable	Floor: Ceramic tile
Acceptable	Walls/Ceiling: Paint
Acceptable	Doors: Wood, Metal
Defective	Electrical: Light, no outlet - light not operable
Acceptable	Closet: None

### Bathroom

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Acceptable	Floor: Ceramic tile
Acceptable	Walls/Ceiling: Paint, Tile
Acceptable	Door: Wood
Marginal	Window: Double hung - Double glazed, broken seal.
Acceptable	Electrical: 120 volt GFCI
Marginal	Sink/Basin: Vanity and top - Cracked countertop.
Acceptable	Faucets/Traps: Metal and PVC
Acceptable	Toilet: Porcelain
	Tub/Shower Surround: Metal with ceramic tile surround. Replace caulking.
Defective	Tub/Shower Diverter: Not operable - The water to this fixture is not functioning correctly and a licensed plumber should be retained to better test the system.
Acceptable	Ventilation: Window
Acceptable	Heat Source: Radiator

Again, surfaces subjected to wet conditions should be well caulked, grouted, and sealed.



## Attic

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Area: The attic has been renovated and the structural components are hidden and can not be evaluated.

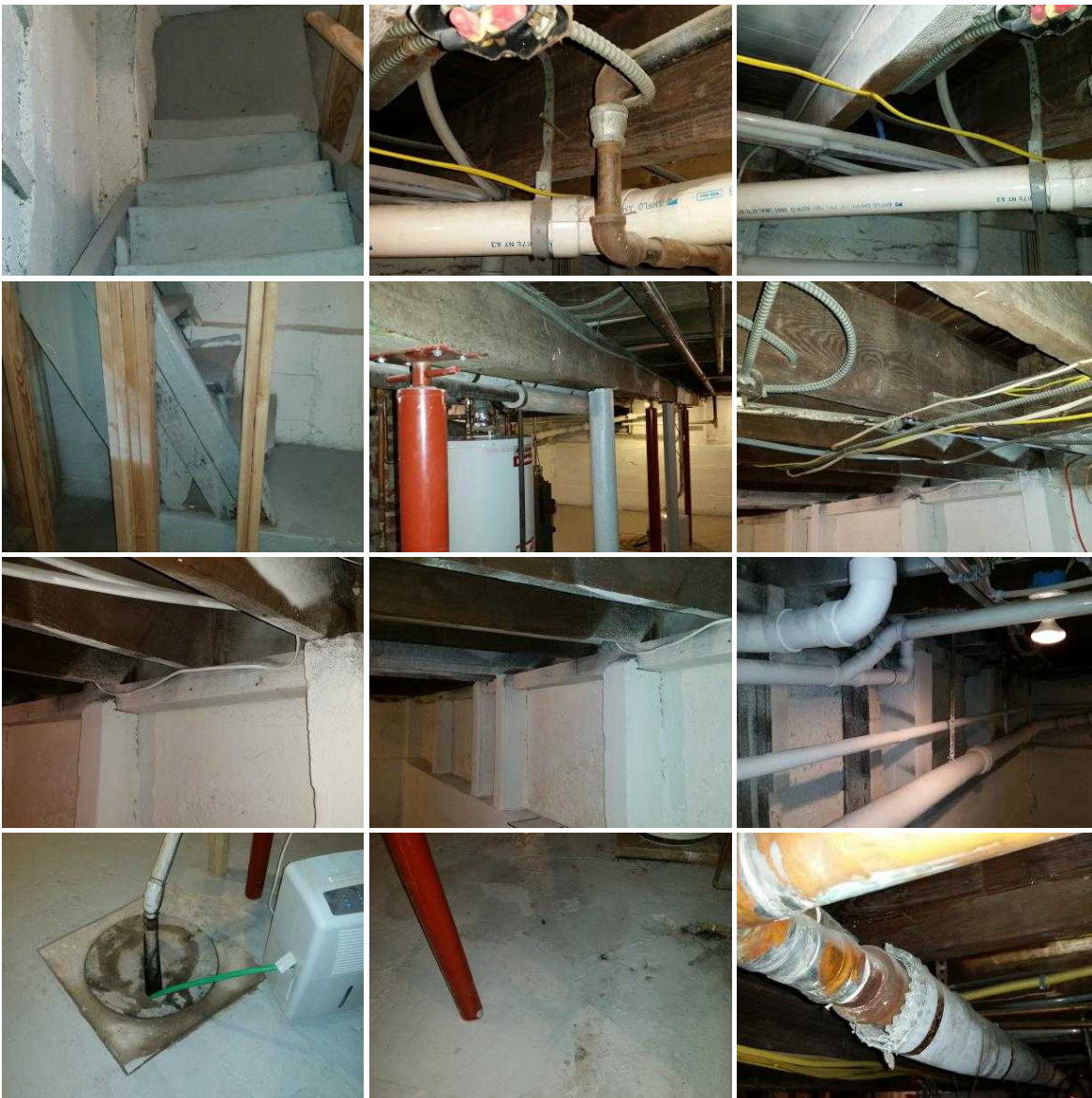
Present recommended energy efficiency standards call for at least 6 1/2 inches of about R-19, of insulation above the ceiling. The wall voids are inaccessible and the amount and type of wall insulation, if any, could not be determined.

Water penetration through the roof or flashings is dependent on both weather and seasonal conditions. Signs of water penetration during dry weather is often difficult to observe or nonexistent. Previous water penetration also may leave visible stains that do not indicate present leakage.

As a note, inspect attic, storage, and basement areas for leaks and condensation prior to purchase and make sure that the insulation is not against the electrical boxes. The presence or absence of pests, such as wood damaging organisms, mice, rodents, insects, birds, bats and animals was not performed. The owner or tenant should be asked about pest infestations of any kind.

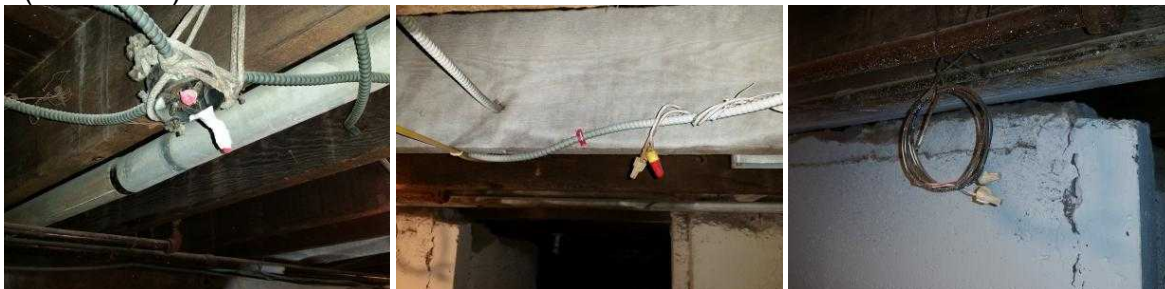
## Basement

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Basement (Continued)

(continued)



Main Basement

Marginal	Stairs: Wood stairs with handrails - , but very low height and hard to maneuver because the stairs do not conform
Acceptable	Foundation: Poured masonry
Acceptable	Cracks: Stress cracks are present and the foundation should be monitored over time.
Acceptable	Floor / Slab: Painted masonry
Marginal	Girder: Solid member - the main girder is a single piece and is very old and the member has sagged. The member has lally columns for vertical supports and added temporary posts added for more support, but the telescopic members are temporary and not permanent.
Marginal	Joists / Truss: 2x10 - the joists at the foundation walls have been modified with with masonry piers with a horizontal support. This might have been added because the floor joists are embedded to the outer walls and may or most likely develop wood rot. The horizontal member should not have been used rather than use a two or three piece pressure treated member.
Acceptable	Subflooring: Plywood
Marginal	Posts / Piers: Lally columns, Telescopic columns - The girder is also being supported by a temporary post, commonly called an adjustable screws column. These members might have been used for leveling the framing, but once the framing is level, the jack should have been replaced replaced with permanent lally column. It is recommended that a competent repair firm be contacted to further assess and correct this major defect.
Defective	Ventilation: None - Inadequate ventilation and a contractor is recommended to evaluate and estimate repairs
Defective	Electrical: 120 volts - quite a few loose, exposed and not terminated wires and open junction boxes that are not safe.
Marginal	Sump Pump: Float - Sump pump not connected to dedicated GFCI circuit. The sump pump does not have a battery back up system and is a recommended means in case of power loose. The system does not appear to be correct because there is water lying on the floor. If there is crushed stones underneath the floor, water should not be on the floor, thus the system will need to be modified with maybe a perimeter drain. The water in the basement will also need to be identified and a de-watering company will need to be retained.
Acceptable	Sump Pump: Float - A sump pit and pump is installed. A switch activates the pump as the water in the pit rises. The sump pump should discharge to the exterior and away from the foundation walls with a check valve to avoid water from re-entering the pit. The sump pit should also be covered and protected by a GFCI. Problems with a sump pump, is debris entering the pump mechanism and from electrical power failure. These pumps are prone to fail and replacing it when you obtain the property is recommended so a warranty can be retained. It is also recommended that a battery back up system be installed for safety.



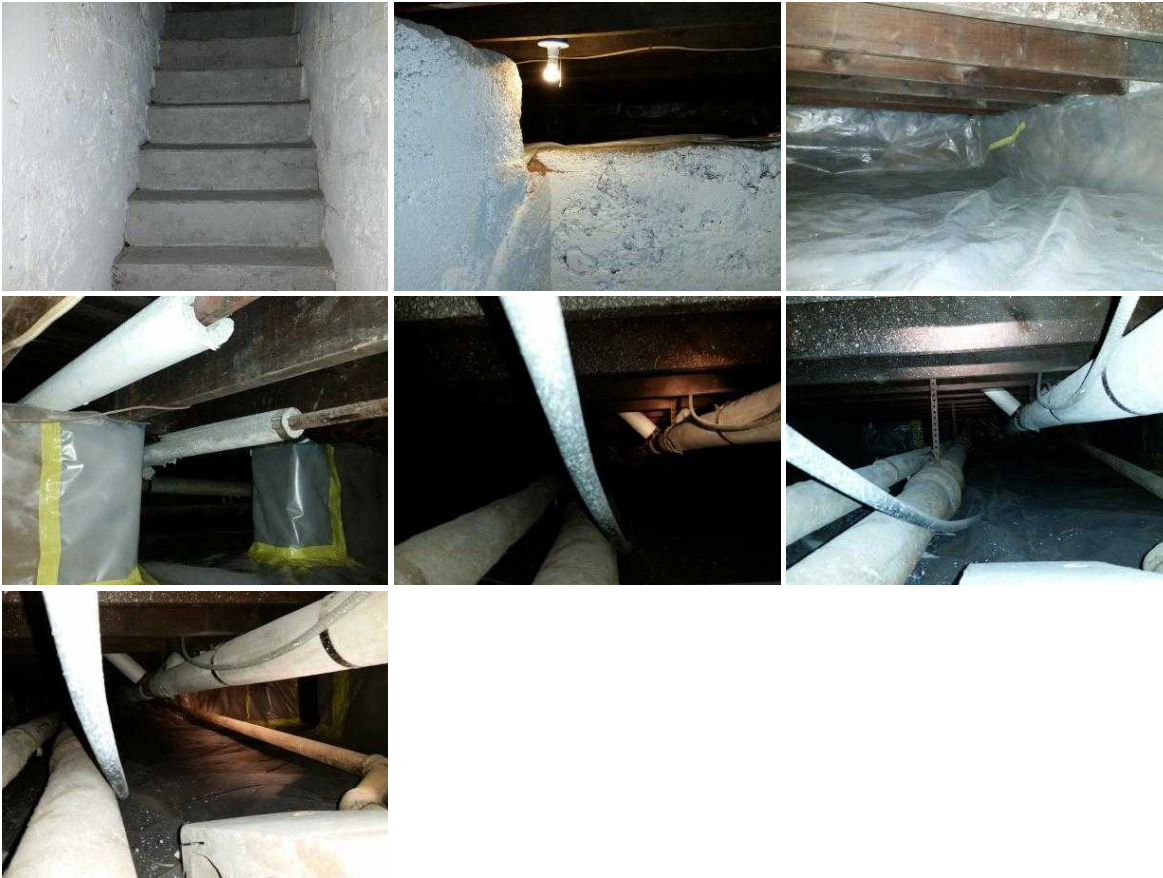
**Basement (Continued)**

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Water penetration: Yes    Efflorescence and some stains noted.

Crawlspace

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Acceptable  
Acceptable  
Acceptable  
Marginal

Insulation: None  
Vapor Barrier: Crawlspace  
Foundation: Masonry  
Floor / Slab: Soil - The crawlspace floor is soil and is covered. The plastic has been applied to the sides of the foundation wall and on the floor, but still the area is in need of ventilation. The crawlspace also has the old style asbestos insulation.

Acceptable  
Not Inspected  
Not Inspected

Joists / Truss: 2x10  
Subflooring: Roof Boards  
Posts / Piers: Masonry piers

Asbestos  
Defective

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Insulation: What is believed to be asbestos insulation is noted on the components of the heating system. Some areas are in poor condition and should be attended too. Asbestos is a controversial material, and is considered hazardous. Complete information concerning asbestos should be obtained from the NJ DEP at 1-609-984-2193. Methods and recommendations vary depending upon the application, and may change with time as well.

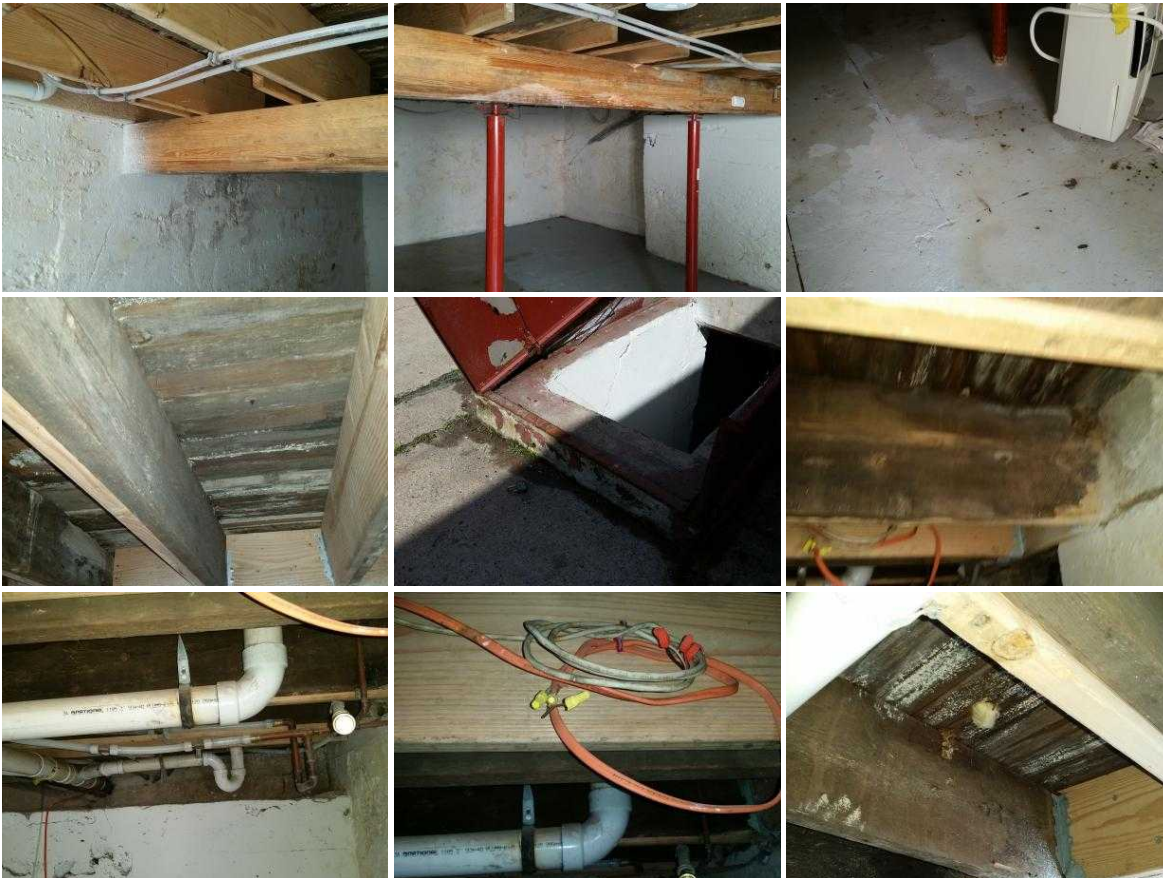
Added Basement  
Marginal

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Foundation: Poured - the walls, floor and framing all have some type of water and moisture problem. The basement windows have been covered and the area is very wet and water lying on the floor more than in the other basement.

Basement (Continued)

- Defective Floor / Slab: Painted masonry - water on the floor with an unplugged dehumidifier. The plumbing for the added room has been partially disconnected from the room, but still present in the basement. The pipes are not secure and should be modified.
- Defective Joists / Truss: the original framing has been left in place with newer and added framing, but the old framing still has termite damage and the home will need a full termite treatment.
- Defective Subflooring: the old subflooring has excessive mold and damage and a concern for building and health.
- Defective Posts / Piers: Again, the newly style engineered girder is being supported by temporary posts and they too should be replaced.
- Defective Pests: Termites - Subterranean termites usually do not live in houses but rather in the soil below. Termites can enter buildings through cracks, expansion joints, hollow bricks, and concrete blocks. The damage noted may only be a small portion with some damage members being hidden. The building has closed walls, fixed, and insulation in the lower and upper levels of the structure, and there is limited, accessibility to all wood framing for inspection. It should be understood that even though the finished walls, ceilings, and floors may not show evidence, there could be hidden damage concealed in these areas. A wood destroying insect inspection report should have been issued with details of any damage. It is recommended that a wood destroying specialist be contacted.
- Defective Ventilation: None



As a note, proper grading is an important consideration when dealing with dampness or wet areas. Efflorescence and water stains noted on the foundation walls may indicate a moisture problem. Predictions about water penetrations are based on indications and conditions at the time of the inspection. Seasonal conditions often cannot be accurately forecasted based on a single inspection.



## Basement (Continued)

It is highly advised that you contact the occupants or owner before obtaining your procurement. You should obtain disclosure and or history information regarding any water penetration. This can provide more information concerning any previous incidents or water penetration. There are occasional instances where the weather conditions conspire to create exceptional events, especially when melting ice seals the ground and excessively high water table. These conditions can cause water penetrations in any basement or crawlspace and should be addressed. Moisture related conditions, whether at the interior or exterior of the building, client should consult a qualified mold testing company prior to close.

## Heating

The home features two separate heating units, the steam boiler for the main portion of the home and the hot water system for the added room.



### Boiler

Manufacturer: Hydrotherm

Type of Unit: Hot Water      BTU's 65,000

Zone: 1      Age/Yr: 1985

Fuel Type : Natural gas

Defective

Operation : Not operational and unit appears to be in need of replacement - Heat is provided for the added room by a very old hot water boiler that could not be fired. The boiler piping has been partially disconnected and a sticker on the boiler indicating the system was winterized. The boiler and flue assembly all are in poor condition.





## Heating (Continued)

(continued)



Steam

Manufacturer: Utica

Type of Unit: Steam                      BTU's: 187,500

Zone: 1                      Age/Yr: 1989

Fuel Type : Natural gas

Defective

Operation : The unit unit is leaking and showing very poorly and the unit has exceeded its life expectancy and the unit should be expected to be replaced in the very near future. Heat is provided by an old steam boiler and it too has been shut down with no water inside the boiler. The boiler is rusting and corroding and will only worsen because of the water lying on the floor and will only further damage the boiler, cause problems with the flooring and framing and water seep into the home and cane easily cause health problems for tenants. Not all the rooms have a radiators and it too is a concern because every room should have heat and many lenders require heat for every room.

The water level must be maintained within the limits of the sight gage on the unit and the gage appears to be leaking. Water should be drained from the low water cut-off valve periodically to remove sediment and insure reliable operation. It is suggested that hot water be supplied to the boiler because the water will be pre-heated, although a corrosion additive is needed. A steam system requires occasional maintenance to individual radiator shut-off valves and air vents and a heating contractor should make these adjustments. Some of the valves leak over time and the sub flooring tends to deteriorate. A heating contractor should perform a more thorough evaluation of the boiler and its piping system. The normal life expectancy for a boiler is in the vicinity of 25 years prior to the need for replacement.

Acceptable

Burners:

Defective

Sight Gage: damaged

Defective

Distribution: Radiator - The majority of the steam pipes are in insulated with what appears to be asbestos. The steam pipes in the basement should be re-insulated to help distribute the vapors into the radiators. No electrical cords should not come in contact with heating units. The heat will dryout the cord and can cause a short. There are a few missing radiators in the room that will be necessary.

Marginal

Flue Pipe : Pipe does not conform to industry standards.

Not Inspected

Thermostat: Individual

Internal access in the unit is limited and this evaluation is based on external visual inspection only. Automatic safety controls were not operated nor evaluated and no components were disassembled. Only the main unsecured access panels were opened. The heat exchanger is mostly hidden from view; it cannot be fully examined and the condition can not be determined without being disassembled. Thermostatic controls were not checked for accuracy and the safety or shutdown systems are not tested. A gas leak test was not performed and it is recommended to locate a CO monitor for safety features. It is recommended that the equipment be inspected, cleaned, and

## Heating (Continued)

maintained by a qualified contractor to insure operation and secure a maintenance policy before obtaining the residence.

## Plumbing



Supply Line: Municipal source Location: Basement  
Defective

Main Material: Lead - The two buildings have a single water meter with the two building have three gas meters and four electric meters. The house service main run from the exterior or street to the water meter appears to be lead. The water supply in the home may also contain lead pipes and solder. Lead piping was used many years ago and is not a recommended material. It is recommended that the water line be replaced and modified. It is highly recommended that the authorities be consulted about the system and if there are modification and renovations that should be performed.

Marginal

Water Lines : Copper and PEX - Quite a few water lines, fitting and valves have mineral deposits noted and the water may have elevated minerals. This tends to clog and discolor dishwashers and other appliances and shorten its life. The majority of the water lines and the waste lines are hidden and could not be evaluated. Many of the water lines have some type of pitting and discoloration noted, indicating high levels or minerals in the water supply. The home has many older style valves and these valves should be used sparingly because they will leak.

PEX tubing is made from crosslinked HDPE (high density polyethylene) polymer. The HDPE is melted and continuously extruded into tube. The crosslinking of the HDPE is accomplished in one of three different methods. PEX plumbing systems are the newest generation of non-copper plumbing systems coming into favor

## Plumbing (Continued)

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### Water Lines : (continued)

after the plumbing industry stopped selling the failure-prone polybutylene pipe systems.

The water in the first floor was turn on and the water lines began to hammer, indicating a problem with the lines not being supported and or air inside the system.

### Marginal

Drain Pipes : Galvanized, cast iron, and PVC - The drainage system is old and is due for a professionally power cleaning procedure and all drains should be cleaned. The main waste lines in the basement have been painted to cover any water leaks, but there are quite a few fittings that have corrosion noted indicating a problem with the pieces and replacement should be conducted.

Some of the drainage lines are composed of galvanized pipe. Galvanized waste pipes will result in rusting and will shorten its life than other materials, such as copper or PVC. The drainage pipes corrodes from the inside out and the rough inner surfaces create blockages. It is better to replace the system when clogged than to repair the section.

The main waste lines for the home are very old and the underground piping system was not inspected. It is recommended that the waste system be inspected by a company that performs this service and a camera placed in the waste pipe which will help inspect the condition of the waste line or lines.

### Acceptable

Main Cleanout: Accessible

### Water Heater

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Defective	Manufacturer: A.O. Smith - the boiler is leaking at the safety valve.
Type: Natural Gas	Gallons :
Year: 2010	Life Exp.: 7-10 years
Defective	Flue Pipe: Metal - Pipe does not conform to industry standards.
Defective	Safety: Metal - Leaking

Most piping in the building is concealed in walls, ceilings, underground, and could not be visually inspected. Shut off valves other than the fixtures themselves were not operated because they are operated infrequently and may leak. Globe, needle and gate valves should not be operated on a continual basis because they tend to leak. Ball valves are recommended, especially as a main shutoff. The safety valves and controls are not tested because they might not reset. The municipality should be addressed about the facilities associated with this building.

Water temperature should be maintained at a reasonable level. Excessive temperature is hazardous, inefficient, and tends to reduce the useful life of the water heater. It is recommended that you adjust the temperature once you move in, to the level you desire. Drain pipes at safety valves should be six inches off the floor

Foresight Consulting wishes to remind you, every home requires a certain amount of ongoing maintenance, such as unclogging drains, servicing heating and A/C system, water heater, etc. This home will be no exception and it is suggested that you budget for regular maintenance and repairs.

The waste lines do clog or drain slowly over time because of the use and will require maintenance and professional cleaning. The underground, concealed and hidden drain lines for the building was not inspected. An inspection of the drain lines can be arranged by placing a camera in the drain lines to view the pipes. The owner or occupant should be addressed on the plumbing repairs, service, and



## Plumbing (Continued)

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cleaning of the waste system.

Laundry Acceptable Marginal Defective Acceptable	Washer Connection: Shut off valves Washer Drain: Stand pipe - , but it is not known, if the piping arrangement conforms. Dryer Vent : Metal - Missing small animal cover Dryer Supply: 240 outlet
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## Electrical

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Acceptable      Serviceline: Overhead conduit  
 Main Disconnect: Yes The two main disconnects are located outside at the electric meters because the two main panels are located a distance from the meter, thus required. The main disconnect switches were not operated.

Amps: 100                      Volts: 240/120

Electric Panel Acceptable Acceptable Marginal Acceptable Acceptable	Both Manufacturers: Cutler-Hammer Overcurrent: Breakers Ground: Add exterior ground Wire Material: Copper Cable Type: Romex and BX
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The wiring configuration from the main and sub-panel system to the outlets, switches, and appliances were not tested. Almost all the wiring is concealed in walls, ceilings, and cannot be visually inspected. All extension cords should be removed. A representative number of outlets, fixtures, and switches were operated.

The main service line and major appliance feeds are often aluminum wire, this is acceptable and a standard practice.

Ground Fault Circuit Interrupter (GFCI) electrical outlets are a significant safety improvement. They are required for bathrooms, kitchens, laundry, and outside outlets.

## Electrical (Continued)

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A ground wire across water meters, hot water source, and an exterior rod is now a recommended practice.

Please use the enclosed "Preclosing Inspection Checklist" to help you at your final inspection before taking possession of the property. It is recommended that you compare the condition of the building to the described condition in this report and the preliminary report. Please contact us if you notice any discrepancies. Remember, however, that certain aspects may be hidden and have changed subsequent to the inspection and could be different from noted in this report. The municipality should be addressed about the facilities associated with this building.



## Concerns & Checklist

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### ENVIRONMENTAL HAZARDS:

This inspection is undertaken for the purpose of determining the condition of the building as constructed. It can not be determined what materials may have been used in the construction of this building, or if environmental hazards, such as electromagnetic radiation, lead, formaldehyde, flammable materials, carbon monoxide, Radon, fungi, mold, etc. may be present. Hazardous materials such as asbestos will be pointed out where the inspector is reasonably certain of their presence. However, no attempt to analyze any of the constituents of construction materials, floor tiles, paint or decorating materials can be undertaken. Please be aware that in light of current issues on mold/fungi in buildings, any comment in this report that indicates water damage, water stains or plumbing leaks should be considered as possible areas of mold growth. Mold and asbestos testing is not included in this inspection process.

### STORAGE TANKS:

No deliberate investigation was performed to locate any above or underground tanks, such as oil, gas or chemical storage tanks, which might be present, or to determine their integrity, condition or legality. This has become a specially significant issue considering recent changes to the New Jersey Spill Compensation and Control Act. Usually it places the responsibility for any discharge of hazardous substance, including heating oil and other petroleum products, past or present, on the owner of the property when discharge is discovered. That responsibility can be reduced or eliminated by performing an adequate oil tank inspection and soil testing in this regard at the time the property is acquired. Under no circumstances should this report be construed to address this topic in any thorough or exhaustive manner, or to certify this property to be free of contamination due to any prior or ongoing discharge or petroleum or other chemicals. Above ground storage containers are also beyond the scope of the inspection.

### RADON TESTING:

If you have not contracted for a radon test with a NJ DEP certified tester, we recommend that you consider testing. Radon is considered a serious health hazard. Foresight Consulting can provide RADON TESTING for this building, if desired. If you have contracted for a radon test with us, the results will be reported separately. Further information is available by calling the New Jersey DEP Radon Hotline: 1-800-648-0394.

### WOOD DESTROYING INSECTS:

The visible damage found may not show live activity, however, when damage is found, it should be understood that some degree of damage is hidden and live activity could be present in the structure. The building has closed walls, fixed, and insulation in the lower and upper levels of the structure, and there is limited, to no accessibility to all wood framing for inspection. It should be understood that even though the finished walls, ceilings, and floors may no show evidence, there could be hidden damage concealed in these areas. This report is indicative of the condition of the structure on the date of the inspection only and is not to be construed as express or implied warranty or guarantee against latent, concealed or future wood destroying insect infestation and defects. If the structure has been treated, we recommend obtaining records relating to prior inspections also contact treating company to transfer warranty.

### SCOPE

Other systems and conditions which are not within the scope of the inspection include, but are not limited to, underground sprinkler, plumbing or water systems; interior building sprinklers or heat measuring devices; playground equipment; swimming pools; spas; energy efficiency measurements; type of drywall; coal, gas or wood burning stoves; fireplace draft; recreational equipment; solar heating equipment; security systems, fire and smoke detectors; vacuum systems; intercoms; built in electronic or home entertainment systems; pest infestation other than as included in the optional Wood Destroying Insect Inspection.

If you have any questions or concerns regarding these issues, please contact us for assistance. Also discuss the environmental issues and the usual precautions with your attorney. Foresight Consulting can help arrange for Radon Mitigation, Septic, Mold, Oil Tank, Asbestos, Lead, Painted Lead Surfaces, and Water Testing. Please contact us for further information in this regard.

**Concerns & Checklist (Continued)**

**Preclosing Inspection Checklist**



Front Building, Garfield, New Jersey 07026

Prior to obtaining the property, you should return to the premises and conduct a Preclosing Inspection to confirm the condition of the property. Use the same methods and techniques that our consultant demonstrated during the inspection. You should assure yourself that the property and all the systems are in the same condition they were in when you went through the property with our inspector or have been modified as specified in the contract or other agreement. Any repairs previously identified required recommended items should have been accomplished in a workman-like manner. If anything is not adequate or acceptable, other than those conditions that were discussed in the report, we recommend you to contact us for further assistance prior to taking possession. Please complete the form and forward a copy to our office. Many companies offer a Home Warranty for peace of mind and should be considered for this property. Also be sure to do the following:

Review your report. Check for any obvious different or changed conditions, i.e., vandalism, disaster, fire, etc. Be sure that the building and yard is cleaned up, and that all items not included in the sale have been removed. The building interior should be "broom clean". Inventory storms and screen to be sure all are available and in good condition. Be sure all special features and appliances included in the sale are still on-site.

**Exterior Concerns & Checklist**

STRUCTURE		Yes	No	GRADING / GUTTERS		Yes	No
1	Have there been any major changes?			1	Have any slabs settled? (ex: driveway, walks, patio, etc)		
2	Have previously noted cracks larger?			2	Have decks, steps, fencing been damaged?		
3	Are there any new foundation cracks?			3	Is the soil pitched away from the foundation?		
4	Are there any cracked or damaged windows?			4	Are the gutters cleaned and aligned and do downspouts discharge away from building?		
FOUNDATION				5	Are the shrubs and trees trimmed and away from building?		
1	Have there been any modifications?			SIDING / TRIM SURFACES			
2	Are there any new cracks?			1	Is the siding sound, cupping, heaving or damaged?		
3	Is the finish cracking?			2	Is there any wood rot, damage or decay?		
ROOF / CHIMNEY				GARAGE			
1	Does the roof leak?			1	Do all the doors operate?		
2	Has the roof surface been damaged?			2	Does the automatic opener operate and reverse?		
3	Is the chimney sound and flashed?			3	Is the interior door fire rated?		
4	Has the interior or flue been professionally inspected?						

**Interior Concerns & Checklist**

INTERIOR WALLS, CEILING and FLOORS		Yes	No	HEATING / COOLING		Yes	No
1	Are there any new water stains?			1	Is the system working? Is the flue sealed?		
2	Is there any new damage?			2	Has an insurance policy been obtained?		
3	Are the floors or carpets stained?			3	Is there heat source in all living areas?		
4	Are the windows operable?			4	Is there an abnormal Fuel smell? Oil Tank?		
5	Are there any broken windows? Missing hardware?			5	Is there an Oil Tank? Has it been tested?		
6	Have the handrails been removed or loose?			6	Do not test air conditioner if the exterior temperature is less than 60 degrees F.		
KITCHEN				PLUMBING / BATHROOM / LAUNDRY			
1	Do all the appliances work?			1	Do all the fixtures work or any damaged?		
2	Have the cabinets and countertops been damaged?			2	Are there any drains, faucets or fixtures that leaks?		
3	Have the floor, walls and ceiling been damaged?			3	Do water fixtures all drain?		
4	Is the fire extinguisher present?			4	Is there any or enough hot water?		
ATTIC / INSULATION / FIREPLACE				5	Is bathtub and or shower surfaces in good condition?		
1	Are there any birds, mice, pests, or animals present?			6	Fill bathtub with water to check for cracks or leaks?		
2	Are there any water stains present?			7	Is there any damage to flooring?		
3	Are the roof and floor joists and other members sound?			8	Do the washer and dryer work or is vented?		
4	Is insulation away from the electrical boxes?			ELECTRICAL			
5	Is the fireplace or stove operable and cleaned?			1	Do all lights and outlets work?		
BASEMENT / CRAWLSPACE				2	Do the GFCI breakers test properly?		
1	Is the area dry and any signs of water penetration?			3	Are there functioning smoke detectors?		
2	Are framing members sound and is there any damage?			4	Are there any loose cables or open boxes?		
3	Is the sump pump functioning? GFCI present?			5	Is the security/intercom/vacuum systems operable?		

Notes:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### Copy of WDI Inspection Report

Front Building Garfield, New Jersey, 07026

**Woods Destroying Insect Inspection Report**

**Section I. General Information**  
 Inspection Company Name: **Aries Termite & Pest Control** 201-290-2210  
 31 Haver St. Passaic, NJ 07655  
 P.O. Box 204 • Carter, NJ 07015

Inspection Date: **8/25/13** Inspection Time: **2:11 PM**  
 Address of Property Inspected: **11-137th St. Garfield NJ 07026**  
 Property Name: **Garfield** Property Type: **Single Family**

**Section II. Inspection Findings** The intent is to determine the existence of the above termites (subterranean, dry wood, and Formosan) and to determine the extent of damage caused by termites. The presence of termites is based on a careful visual inspection of the readily accessible areas of the structure's exterior.

No termites or signs of termite activity were observed.  
 Termites or signs of termite activity were observed as follows:  
 Subterranean termites and/or Formosan termites.  
 Dry wood termites (east of the Rocky Mountains) or other termites and/or Formosan termites.  
 - **Subterranean termites - mud tubes in basement and crawlspace, termites in wall.**  
 - **Dry wood termites - termites in wall, ceiling, and floor joists.**  
 No termites or signs of termite activity were observed as follows:  
 Subterranean termites and/or Formosan termites.

**NOTE:** There is no assurance that this report is a complete and accurate statement of the condition of the property. It should be understood that some degree of damage to the structure may exist which is not shown on this report. The inspector is not responsible for damage to the property which is not shown on this report. The inspector is not responsible for damage to the property which is not shown on this report.

**Section III. Recommendations**  
 No treatment recommended. (Check if this is to be done by the client.)  
 Treatment recommended for the control of **Subterranean**.

**Section IV. Observations and Unchecked Areas**  
 The inspector observed the following structural areas, observations as represented:  
 Foundation **4/11/13 - 24**  
 Crawlspace **4/11/13 - 24**  
 Attic **4/11/13 - 24**  
 None  
 Exterior  
 Other

The inspector has not inspected the following areas:  
 Roofing  
 Siding  
 Windows  
 Doors  
 Stairs  
 Eaves  
 Gutters  
 Foundation  
 Crawlspace  
 Attic  
 Other

**Section V. Additional Comments and RECOMMENDATIONS (check as appropriate) of the report:**

**Attachments:**

Signature of Inspector or Designated Representative: **[Signature]**  
 Signature of Buyer: **[Signature]**

Comments: **[None]**

Page 1 of 1

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## Summary

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The summary may not represent all the items that may be a concern to you. Please read and review the entire report including important limitations of this inspection report and use the Preclosing Inspection Checklist.

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### Driveway

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Surface: Concrete - The concrete parking area should be replaced. It would be difficult for emergency vehicles to enter and exit the property. There is an exposed water valve and pipe near the rear Bilco doors that should be revised.

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### Walks/Entrance

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City Sidewalk: Masonry - Deteriorating and damaged. A tripping hazard is present and not safe.

Front Walkway: Masonry - Replace walkway and suggested that some type of grading be installed for both esthetics and help with water.

Front Entrance: Masonry - The steps are uneven. The steps lead directly into the home and a platform of some sort should have been installed.

Utility Entrance: Masonry - Damaged. The rear added room has exposed wires at both front and rear has hanging cables and freon lines that they too should be removed and birds are nesting in the bathroom vent.

Patio: Masonry - Replace patio. The patio is pitched towards the building and flashing cement is noted against the building.

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### Grading

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Landscaping: Add topsoil, mulch and shrubs - almost all the property is covered with concrete and water or water runoff will be diverted towards the street and home. The front basement is wet and water noted on the floor, indicating a problem with water. The right side neighbor is asking for the rear building to have its gutters and leaders to be diverted towards the street rather than his property.

Hose Bibs: Gate - Valves are not operated as part of this inspection, any reference to any valve inspected is visual only unless otherwise noted. The valves are the older style and replacement recommended. The valves are not freeze protection, especially the rear building has a very loose hose bib.

Walls: Masonry - Some cracking noted.

Oil Tank: Suspected previous oil tank. It is recommended that a search for a buried oil tank be conducted.

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### Gutters/Downspouts

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Gutters: Hopper - the added room roof is a mineral roof and the roof is not pitched to wards the side hopper and water is lying on the roof and will only dryout the roof and cause leaks.

Downspouts: Aluminum - The downspouts discharge too close to the foundation and should be extended.

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### Fascias/Soffits/Trim

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Trim: Aluminum, wood, and vinyl - Quite a few wood trims will require finishing. The windows do not have the correct style flashing and drip edging and water will seep into the void or wall cavity.

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### Doors/Windows

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Entrance Door: Metal, Metal with glass - the doors have quite few dents and show poorly.

Utility Door: Metal - Bilco doors noted and both doors are rusting and corroding and allowing water to seep into each basement. The basement stairs are very slippery because of the water.

Windows: Double hung - Double glazed, and the drip edging, sillplates are all in need of modifications. The front right side windows have only plaster and the cement is damaged, thus water seeping into the home. The right side windows egress onto the roof above the added room and a child can easily walk on the roof and is a concern. The windows may require security or safety bars.



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## Summary (Continued)

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Base Windows: the basement windows have been covered and the both basement are very wet and the owner is using a dehumidifier, but still the water is present and will only seep into the home and can cause health problems. The added room basement is very poor and mold is noted on the framing indicating a potential problem.

### Siding

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Material: Masonry - The masonry siding is in poor condition on the front building. The surface is failing, cracking, damaged and should be replaced. The left side of the building has stucco and the front windows have been covered and the opening very noticeable and shows poorly.

Material: Vinyl siding - The siding has appears to have been placed over another type of siding, thus the siding is not flush or plumb. The siding is touching the lower brick work and the brick work does not have flashing.

Material: Brick veneer - In order to drain any water collected on the flashing, weep holes must be provided above flashing at all flashing locations. Weep holes should be provided in the outside wythe or vertical section of masonry walls at a maximum spacing of about 33 inches on center. Weep holes shall not be less than 3/16 inch in diameter and the weep holes should be located just above the flashings.

The stone shelf will be difficult to drain water and should be pitched away from the building. Water is susceptible to pool against the siding and possibly penetrate the system.

### Roof

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Lower Mineral Roof Material: Rolled roof material - The roof that is commonly called a roll roof. The roof is composed of asphalt shingles that are made by impregnating mats of either organic felt material or fiberglass. It is considered to be low quality roof covering with a limited life expectancy of up to ten years. The roof requires a considerable amount of expertise to install properly. Water ponding on the flat roof can shorten the life expectancy. The rolled roofing has a much shorter life expectancy than a 3 tab or 5 tab roof shingle.

The roof has pooling water. Water staining is noted on the floor in the unit beneath this pooling water. The seams are open and the roof at not be properly installed. A licensed roofer should be retained to further evaluate the roof and estimate for repairs. Tye aluminum capping to the parapet wall appears to be incorrect.

### Chimney

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Material: Masonry - The chimney could only be partially viewed due to height. The viewable portions are in need of repairs and a licensed mason should be retained for estimates and repairs. The old heating system was an oil fired unit and the chimney should have conform to its requirements. The flue pipe penetrates the chimney and the chimney does not conform and is unsafe and should be revised.

Flue/Flue Cap: No cap.

### 1st Floor Interior Comments

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Living Room Floor: Laminate - Poor installation

Living Room Walls/Ceiling: Paint - The molding throughout the home and the other home is very old and the trim work may contain a lead base paint. The city health department may perform a lead test and the inspectors should be addressed.

Living Room Doors: Wood - Missing closet door.

Living Room Electrical: 120 volts - The electrical system in some rooms are limited and most likely need additional outlets.

Living Room HVAC: No Heat missing radiator

Bedrooms Floors: Carpet - Worn carpeting.



## Summary (Continued)

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Bedrooms Windows: Double hung - All windows in bedrooms should be functional because of safety requirements. Double glazed, broken seals.

Bedrooms Electrical: 120 volts - Limited outlets. Open grounds and loose outlet boxes.

Bedrooms Closets: Hinge - Missing closet in front bedroom

Added Room Floor: Wood, substrate - Water staining noted on floor and subflooring very soft due to the water in the basement.

Added Room Walls/Ceiling: Paint - Air conditioning lines abandoned in this room. Sink connections are noted. Laundry connections also present.

Added Room Electrical: 120 volts - Cover plates noted. Missing outlets limited outlets.

Added Room HVAC: No heat.

Kitchen Counter Tops: Laminate and composite materials - Damaged.

Kitchen Cooking Appliances: Missing - Remember, all stoves, book cases, and furniture should have anti tip anchors.

Stairs: Carpet, with handrails - Inferior carpeting artificial turf. Missing spindles. The basement stairs are also hard to traverse with very low head room.

Added Room: Ceramic tile - The room has been partially de-constructed. The room does not have heat, sink, toilet and the plumbing disconnected, but still locate or present in the basement leading to a concern. The added room also once had an AC unit that has been removed, but the freon lines still in place. It was said that the room was originally a store and the owner had renovated without a permit and the town order to have the kitchen and bathroom decommissioned. The building or zoning office will need to be addressed on this matter and about any other concerns about this property that should be made light.

Bathroom Floor: Ceramic tile - Cracked tiles.

Bathroom Faucets/Traps: Metal and PVC - Water hammer in both front and rear building.

Bathroom Toilet: Porcelain - The assembly is poor and the handle must be held down to flush.

Bathroom Tub/Shower Surround: Metal with ceramic tile surround. Apply caulking to surround.

Bathroom Tub/Shower Diverter: Operable - Loose tub nozzle

Bathroom Heat Source: No Heat

## 2nd Floor Interior Comments

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Living Room Floor: Laminate - Damaged seams.

Living Room Windows: Double hung - Double glazed, broken glass.

Bedrooms Floors: Laminate - Some damages noted

Bedrooms Windows: Double hung - Double glazed, broken seals.

Bedrooms Closets: Sliders, Bifold - Missing Bifold door

Kitchen Floor: Laminate - Damages noted

Kitchen Cabinets: Laminate and composite materials - Damaged and peeling veneer.

Kitchen Cooking Appliances: Gas stove - Not operable.

Hallway Electrical: Light, no outlet - light not operable

Bathroom Window: Double hung - Double glazed, broken seal.

Bathroom Sink/Basin: Vanity and top - Cracked countertop.

Bathroom Tub/Shower Diverter: Not operable - The water to this fixture is not functioning correctly and a licensed plumber should be retained to better test the system.

## Basement

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Main Basement Stairs: Wood stairs with handrails - , but very low height and hard to maneuver because the stairs do not conform

Main Basement Girder: Solid member - the main girder is a single piece and is very old and the member has sagged. The member has lally columns for vertical supports and added temporary posts added for more support, but the telescopic members are temporary and not permanent.

Main Basement Joists / Truss: 2x10 - the joists at the foundation walls have been modified with with masonry piers with a horizontal support. This might have been added because the floor joists are embedded to the outer walls and may or most likely develop wood rot. The horizontal member

## Summary (Continued)

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### Joists / Truss: (continued)

should not have been used rather than use a two or three piece pressure treated member.

Main Basement Posts / Piers: Lally columns, Telescopic columns - The girder is also being supported by a temporary post, commonly called an adjustable screws column. These members might have been used for leveling the framing, but once the framing is level, the jack should have been replaced with permanent lally column. It is recommended that a competent repair firm be contacted to further assess and correct this major defect.

Main Basement Ventilation: None - Inadequate ventilation and a contractor is recommended to evaluate and estimate repairs

Main Basement Electrical: 120 volts - quite a few loose, exposed and not terminated wires and open junction boxes that are not safe.

Main Basement Sump Pump: Float - Sump pump not connected to dedicated GFCI circuit. The sump pump does not have a battery back up system and is a recommended means in case of power loose. The system does not appear to be correct because there is water lying on the floor. If there is crushed stones underneath the floor, water should not be on the floor, thus the system will need to be modified with maybe a perimeter drain. The water in the basement will also need to be identified and a de-watering company will need to be retained.

Crawlspace Floor / Slab: Soil - The crawlspace floor is soil and is covered. The plastic has been applied to the sides of the foundation wall and on the floor, but still the area is in need of ventilation. The crawlspace also has the old style asbestos insulation.

Asbestos Insulation: What is believed to be asbestos insulation is noted on the components of the heating system. Some areas are in poor condition and should be attended too. Asbestos is a controversial material, and is considered hazardous. Complete information concerning asbestos should be obtained from the NJ DEP at 1-609-984-2193. Methods and recommendations vary depending upon the application, and may change with time as well.

Added Basement Foundation: Poured - the walls, floor and framing all have some type of water and moisture problem. The basement windows have been covered and the area is very wet and water lying on the floor more than in the other basement.

Added Basement Floor / Slab: Painted masonry - water on the floor with an unplugged dehumidifier. The plumbing for the added room has been partially disconnected from the room, but still present in the basement. The pipes are not secure and should be modified.

Added Basement Joists / Truss: the original framing has been left in place with newer and added framing, but the old framing still has termite damage and the home will need a full termite treatment.

Added Basement Subflooring: the old subflooring has excessive mold and damage and a concern for building and health.

Added Basement Posts / Piers: Again, the newly style engineered girder is being supported by temporary posts and they too should be replaced.

Added Basement Pests: Termites - Subterranean termites usually do not live in houses but rather in the soil below. Termites can enter buildings through cracks, expansion joints, hollow bricks, and concrete blocks. The damage noted may only be a small portion with some damage members being hidden. The building has closed walls, fixed, and insulation in the lower and upper levels of the structure, and there is limited, accessibility to all wood framing for inspection. It should be understood that even though the finished walls, ceilings, and floors may not show evidence, there could be hidden damage concealed in these areas. A wood destroying insect inspection report should have been issued with details of any damage. It is recommended that a wood destroying specialist be contacted.

Added Basement Ventilation: None

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## Summary (Continued)

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### Heating

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**Boiler Operation :** Not operational and unit appears to be in need of replacement - Heat is provided for the added room by a very old hot water boiler that could not be fired. The boiler piping has been partially disconnected and a sticker on the boiler indicating the system was winterized. The boiler and flue assembly all are in poor condition.

**Steam Operation :** The unit is leaking and showing very poorly and the unit has exceeded its life expectancy and the unit should be expected to be replaced in the very near future. Heat is provided by an old steam boiler and it too has been shut down with no water inside the boiler. The boiler is rusting and corroding and will only worsen because of the water lying on the floor and will only further damage the boiler, cause problems with the flooring and framing and water seep into the home and can easily cause health problems for tenants. Not all the rooms have radiators and it too is a concern because every room should have heat and many lenders require heat for every room.

The water level must be maintained within the limits of the sight gage on the unit and the gage appears to be leaking. Water should be drained from the low water cut-off valve periodically to remove sediment and insure reliable operation. It is suggested that hot water be supplied to the boiler because the water will be pre-heated, although a corrosion additive is needed. A steam system requires occasional maintenance to individual radiator shut-off valves and air vents and a heating contractor should make these adjustments. Some of the valves leak over time and the sub flooring tends to deteriorate. A heating contractor should perform a more thorough evaluation of the boiler and its piping system. The normal life expectancy for a boiler is in the vicinity of 25 years prior to the need for replacement.

**Steam Sight Gage:** damaged

**Steam Distribution: Radiator -** The majority of the steam pipes are insulated with what appears to be asbestos. The steam pipes in the basement should be re-insulated to help distribute the vapors into the radiators. No electrical cords should come in contact with heating units. The heat will dryout the cord and can cause a short. There are a few missing radiators in the room that will be necessary.

**Steam Flue Pipe :** Pipe does not conform to industry standards.

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### Plumbing

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**Main Material: Lead -** The two buildings have a single water meter with the two buildings have three gas meters and four electric meters. The house service main run from the exterior or street to the water meter appears to be lead. The water supply in the home may also contain lead pipes and solder. Lead piping was used many years ago and is not a recommended material. It is recommended that the water line be replaced and modified. It is highly recommended that the authorities be consulted about the system and if there are modifications and renovations that should be performed.

**Water Lines :** Copper and PEX - Quite a few water lines, fittings and valves have mineral deposits noted and the water may have elevated minerals. This tends to clog and discolor dishwashers and other appliances and shorten its life. The majority of the water lines and the waste lines are hidden and could not be evaluated. Many of the water lines have some type of pitting and discoloration noted, indicating high levels of minerals in the water supply. The home has many older style valves and these valves should be used sparingly because they will leak.

PEX tubing is made from crosslinked HDPE (high density polyethylene) polymer. The HDPE is melted and continuously extruded into tube. The crosslinking of the HDPE is accomplished in one of three different methods. PEX plumbing systems are the newest generation of non-copper plumbing systems coming into favor after the plumbing industry stopped selling the failure-prone polybutylene pipe systems.

## Summary (Continued)

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Water Lines : (continued)

The water in the first floor was turn on and the water lines began to hammer, indicating a problem with the lines not being supported and or air inside the system.

Drain Pipes : Galvanized, cast iron, and PVC - The drainage system is old and is due for a professionally power cleaning procedure and all drains should be cleaned. The main waste lines in the basement have been painted to cover any water leaks, but there are quite a few fittings that have corrosion noted indicating a problem with the pieces and replacement should be conducted.

Some of the drainage lines are composed of galvanized pipe. Galvanized waste pipes will result in rusting and will shorten its life than other materials, such as copper or PVC. The drainage pipes corrodes from the inside out and the rough inner surfaces create blockages. It is better to replace the system when clogged than to repair the section.

The main waste lines for the home are very old and the underground piping system was not inspected. It is recommended that the waste system be inspected by a company that performs this service and a camera placed in the waste pipe which will help inspect the condition of the waste line or lines.

Water Heater Manufacturer: A.O. Smith - the boiler is leaking at the safety valve.

Water Heater Flue Pipe: Metal - Pipe does not conform to industry standards.

Water Heater Safety: Metal - Leaking

Laundry Washer Drain: Stand pipe - , but it is not known, if the piping arrangement conforms.

Laundry Dryer Vent : Metal - Missing small animal cover

### Electrical

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Electric Panel Ground: Add exterior ground